

# Inspection Report

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**Mr. John Doe**

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**Property Address:**

123 Main Street  
Tampa FL 12345



**Best Home Inspection & Construction Co. LLC.**

**Tom Yelton  
23086 Madelyn Ave.  
Port Charlotte, Fl. 33954  
941 - 391 - 5372**



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General Summary

<b>Date:</b> 8/26/2009	<b>Time:</b> 8:20 am	<b>Report ID:</b> DOE 082609
<b>Property:</b> 123 Main Street Tampa FL 12345	<b>Customer:</b> Mr. John Doe	<b>Real Estate Professional:</b> Betty Broker ACME Realty

### Comment Key or Definitions

**The home inspection is defined as a visual, non-invasive inspection of all systems and components readily accessible at the time of the inspection as listed by the "Standards of Practice". The inspection is not to grade or list the residence as code compliant, but to report on the condition of systems at the time and date of inspection.**

The following are definitions of comment descriptions represented this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**In Attendance:**  
Seller, Customer and their agent

**Type of building:**  
Single Family (2 story)

**Approximate age of building:**  
Under 10 Years

**Home Faces:**  
West

**Temperature:**  
Over 65

**Weather:**  
Hot and Humid, Light Rain, Cloudy

**Ground/Soil surface condition:**  
Damp

**Rain in last 3 days:**  
Yes

**Radon Test:**  
No

**Water Test:**  
No

# 1. Roofing

The home inspector shall observe: the Roof Coverings; the Roof Drainage Systems; Flashings, Skylights, Chimneys, Ventilation Components and any other Roof Penetrations present for signs of leakage, abnormal condensation or other conditions of those building components.

The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing.

The home inspector is not required to walk on the roof if it is deemed unsafe or potentially damaging to the roof to do so. Examples of unsafe roofs would be: extremely steep slopes, saturated coverings, roofs covered in debris or fungus, metal, concrete, slate or clay tile roofs, limited access and other conditions which make inspection hazardous to the inspector or the roof covering. Inspecting attached accessories including but not limited to solar systems, antennae, and lightning arrestors is also not required as per Standards of Practice.

## Styles & Materials

**Viewed roof covering from:**

Ladder  
Binoculars

**Roof Covering:**

Architectural  
Asphalt/Fiberglass

**Drainage System Material:**

Aluminum

**Sky Light(s):**

None

**Chimney (exterior):**

Wood

**IN NI NP RR**

<b>1.0</b>	<b>NARRATIVE</b>	X			
<b>1.1</b>	<b>ROOF COVERINGS</b>	X			
<b>1.2</b>	<b>ROOF DRAINAGE SYSTEMS</b>	X			
<b>1.3</b>	<b>FLASHINGS</b>	X			
<b>1.4</b>	<b>PLUMBING VENT STACKS</b>	X			
<b>1.5</b>	<b>SKYLIGHTS</b>			X	
<b>1.6</b>	<b>CHIMNEYS</b>	X			X

**IN NI NP RR**

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**1.0** Inspection was performed from ladder with binoculars. The combination of rain and steep slopes prevented a safe walk-over. The inspector looked for depressions in the roof deck, questionable flashing areas and shingle issues. The owner is to have a roofing contractor do repair to flashing over back patio which has caused a leak down to the patio ceiling. It was suggested to owner that the roofer do a complete evaluation of roof covering and flashing at that time. It is further suggested that the buyer ask for an independent inspection if owner's inspection is not sufficient in scope. However, the roof is showing normal aging for a roof 7 years old.

**1.1** Area where top story meets the garage roof. Suggest licensed roofing contractor examine - no signs of leaking below area in dwelling.

**1.2** We suggest making sure splash blocks are in place where downspouts meet landscaping areas. There were several areas where the splash block was either missing or was not properly positioned. Splash blocks help move rain water away from the foundation and appurtenances around the dwelling which helps prevent settling or deterioration of those components. Also, noticed some dripping coming from gutters in some places. Suggest licensed handyman make sure seams are sealed in gutters. We also suggest that drainage systems be installed at all areas where a higher roof drains onto a lower roof. This will help preserve the normal life expectancy of the roof covering and help prevent leaks at areas of flashing.



1.2 Picture 1



1.2 Picture 2



1.2 Picture 3



1.2 Picture 4

**1.3** Area where top story meets garage roof. Suggest licensed roofing contractor to inspect for water-tightness. New flashing was installed where gutter meets back wall of garage. There is a small spot that should be caulked to prevent moisture from wicking behind siding. The siding has been removed to make that repair. Nail holes are exposed and should be caulked as well.



1.3 Picture 1



1.3 Picture 2



1.3 Picture 3



1.3 Picture 4



1.3 Picture 5

**1.4** Shingles covering flange of lead boot are raised off of roof. Suggest licensed roofing contractor inspect to determine if gap is allowing any moisture to intrude. This is the plumbing vent stack for the laundry room.

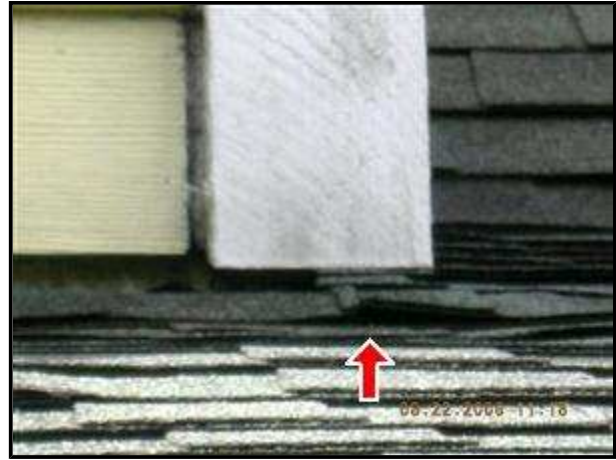


1.4 Picture 1

**1.6** Chimney flashing needs repair. Leak from this area has caused damage to patio ceiling below.



1.6 Picture 1



1.6 Picture 2

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The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

### Styles & Materials

**Siding Style:**

Lap

**Siding Material:**

Cement-Fiber

**Exterior Entry Doors:**

Steel

Insulated glass

**Appurtenance:**

Covered porch

Sidewalk

Deck

Patio

**Driveway:**

Concrete

IN NI NP RR

		IN	NI	NP	RR
<b>2.0</b>	<b>NARRATIVE</b>	X			
<b>2.1</b>	<b>WALL CLADDING FLASHING AND TRIM</b>	X			X
<b>2.2</b>	<b>DOORS (Exterior)</b>	X		X	X
<b>2.3</b>	<b>WINDOWS</b>	X	X		X
<b>2.4</b>	<b>DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS</b>	X			X
<b>2.5</b>	<b>GRADING &amp; DRAINAGE</b>	X			X
<b>2.6</b>	<b>DRIVEWAYS, WALKWAYS</b>	X			
<b>2.7</b>	<b>VEGETATION</b>	X			
<b>2.8</b>	<b>EAVES, SOFFITS AND FASCIAS</b>	X			X
<b>2.9</b>	<b>OTHER</b>	X			X

IN NI NP RR

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**2.0** As is common with siding, there are some boards which have bowed slightly and visible gaps are evident. While this is not an immediate concern, the siding as a whole should be monitored on an on-going basis. Some spots may need to be caulked to prevent moisture or insect intrusion. Because wood structures tend to expand and contract, there are some areas around window and door openings which need to be caulked and painted. This is general maintenance and can be performed by any competent person.

**2.1**



2.1 Picture 1



2.1 Picture 2



2.1 Picture 3



2.1 Picture 4



2.1 Picture 5



2.1 Picture 6



2.1 Picture 7

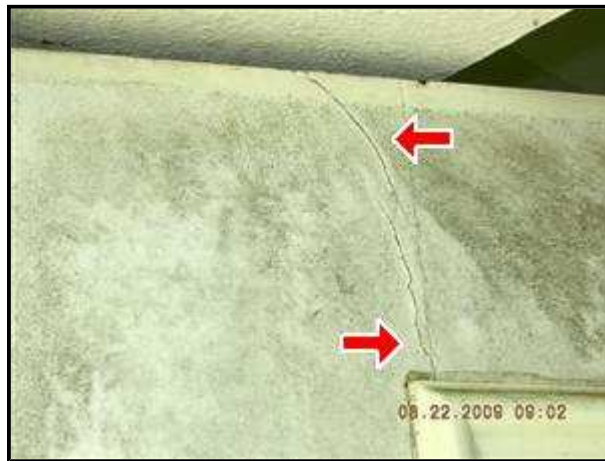
**2.2** Trim and casing of front door have been damaged. We suggest repair or replacement by licensed handyman. Door into garage from patio is extremely stained and has a crack on top left of window. Suggest replacement of door. The track systems for the sliding glass doors need to be cleaned. Dirt and debris need to be removed and lubrication is recommended as well.



2.2 Picture 1



## 2.2 Picture 2



2.2 Picture 3

**2.3** We suggest licensed handyman to inspect flashing and caulking around fixed window on North wall of master bedroom and repair as necessary. Caulking around glazed window should also be repaired. There is evidence of water and insect penetration into the dwelling. See comments listed in Section 4 for more details.



2.3 Picture 1



2.3 Picture 2

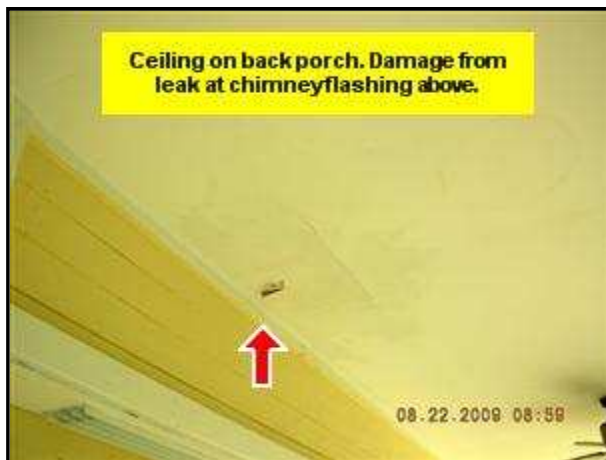
**2.4** Ceilings for covered porch areas on front and back are both in need of repair. We suggest a licensed handyman or drywall contractor to fill seam cracks and paint. Areas on front porch are mostly concentrated at seams suggesting damage is from moisture in the air and possibly faulty workmanship. Damaged area on back porch was caused by leak from flashing at chimney above. The screen enclosure on the back patio is in need of repair. The are rips and holes in the main screen areas and the door. The door latching components need to be replaced as they are worn and not functioning to their full potential. The wood deck in back is in need of repair. There are several areas where the boards are warped, loose or deteriorated. Suggest licensed handyman to remove and replace damaged boards. It is also suggested that during the repair of the deck that the downspout currently draining onto the deck be run through the deck onto the ground. We suggest directing the flow away from the concrete porch. The roof drainage system needs to be sealed at the seams to prevent dripping onto the deck. The deck system needs to be treated with a deck sealer to prevent further damage. The ends of the deck should also be sealed off to prevent animal intrusion.



2.4 Picture 1



2.4 Picture 2



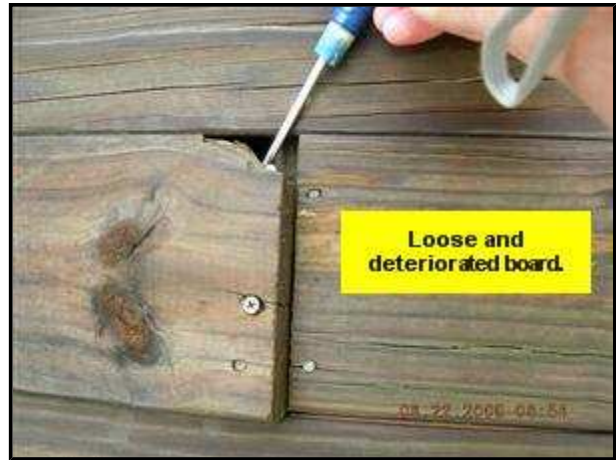
2.4 Picture 3



2.4 Picture 4



2.4 Picture 5



2.4 Picture 6



2.4 Picture 7



2.4 Picture 8

**2.5**



2.5 Picture 1

**2.7** Vegetation growing on wood deck at South wall should be removed to protect building and deck from moisture damage. Remove vegetation from area in front of downspout on front porch and install splash block.



2.7 Picture 1



2.7 Picture 2

**2.8** Some areas on soffit are stained from moisture. Some of those areas may need addition of drainage system to control rain runoff. The area where garage roof meets main roof near walkway leading to porch may need to be addressed. The roof covering underneath the soffit of the garage roof was considerably moist. This may be caused by blowing rain from a storm the previous night. However, it may be the result of not having a roof drainage system on the garage roof to control runoff of rain water. A small piece of flashing has been used to attempt diversion of rain water coming from garage roof onto lower roof. A more substantial kickout may be necessary. The concern is excessive wear to roof covering from prolonged exposure to moisture. Lack of sun and wind do not dry this area as well as others areas. Summary: monitor for a chronic condition and consult with roofer if condition persists.



2.8 Picture 1



2.8 Picture 2



2.8 Picture 3

**2.9** The plates holding the coach lights on the garage door wall are all deteriorating and are cracked. This is due to the use of inferior material. These plates should be removed and replaced with material suitable to for exterior use and protected from the elements.



2.9 Picture 1

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

### 3. Garage

#### Styles & Materials

**Garage Door Type:**

Overhead  
Sectional

**Garage Door Material:**

Metal

**Auto-opener Manufacturer:**

1/2 HORSEPOWER  
ACCESS MASTER

**Garage Ceiling Material:**

Drywall

**Garage Wall Material:**

Wood Frame  
Drywall Covering

**IN NI NP RR**

		IN	NI	NP	RR
<b>3.0</b>	<b>NARRATIVE</b>	X			
<b>3.1</b>	<b>GARAGE CEILINGS</b>	X			X
<b>3.2</b>	<b>GARAGE WALLS (INCLUDING FIREWALL SEPARATION)</b>	X			
<b>3.3</b>	<b>GARAGE FLOOR</b>	X			
<b>3.4</b>	<b>OCCUPANT DOOR FROM GARAGE TO INSIDE HOME</b>	X			X
<b>3.5</b>	<b>GARAGE DOOR (S)</b>	X			
<b>3.6</b>	<b>GARAGE DOOR OPERATORS</b>	X			
<b>3.7</b>	<b>CHINESE DRYWALL - If requested.</b>		X		

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**3.0** The garage walls have some cosmetic damage and the ceiling is not painted. We suggest a licensed handyman or drywall contractor to make repairs to drywall. We suggest a licensed painter to paint the ceiling to enhance the protection of the drywall from ambient moisture. The automatic openers were tested and are operating as intended. The door leading to the main dwelling is in need of repair. As is the case with the front door, the trim and casing of the door has been damaged. We suggest a licensed handyman to repair as necessary.

**3.1**



3.1 Picture 1

**3.3**



3.3 Picture 1

**3.4**



3.4 Picture 1

## 4. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

### Styles & Materials

**Ceiling Materials:**

Drywall  
Wood

**Wall Material:**

Drywall

**Floor Covering(s):**

Carpet  
Laminated T&G  
Tile  
Wood

**Interior Doors:**

Hollow core  
Wood

**Window Types:**

Single-hung  
Casement

**Window Manufacturer:**

UNKNOWN

**Cabinetry:**

Wood  
Laminate

**Countertop:**

Laminate  
Composite

**IN NI NP RR**

		IN	NI	NP	RR
<b>4.0</b>	<b>NARRATIVE</b>	X			X
<b>4.1</b>	<b>CEILINGS</b>	X	X		X
<b>4.2</b>	<b>WALLS</b>	X			X
<b>4.3</b>	<b>FLOORS</b>	X			X
<b>4.4</b>	<b>STEPS, STAIRWAYS, BALCONIES AND RAILINGS</b>	X			
<b>4.5</b>	<b>COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS</b>	X			X
<b>4.6</b>	<b>DOORS (REPRESENTATIVE NUMBER)</b>	X			
<b>4.7</b>	<b>WINDOWS (REPRESENTATIVE NUMBER)</b>	X			X
<b>4.8</b>	<b>CHINESE DRYWALL - if requested.</b>		X		

**IN NI NP RR**

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**4.0** Throughout the dwelling, there is evidence of cosmetic damage to the walls and flooring coverings. We suggest a licensed handyman or drywall contractor to repair or replace as necessary. Tested a sampling of windows and some were difficult to move. Suggest lubrication and adjustment as necessary. The blades on two ceiling fans have been removed. A door in the upstairs bedroom on the East side has been taken off its hinges and needs to be hung again. Although there are some minor repairs to make, there are some very nice features throughout the home as well. Crown molding and decorative features adorn the walls and ceilings in places.

**4.1**



4.1 Picture 1



4.1 Picture 2



4.1 Picture 3



4.1 Picture 4

**4.2** There are several walls which are in need of repair.



4.2 Picture 1



4.2 Picture 2



4.2 Picture 3



4.2 Picture 4



4.2 Picture 5

**4.3** We recommend that the carpet be replaced throughout the house. Stains and excessive wear were seen everywhere. The non-carpeted areas are acceptable with the exception of some damaged tiles in the laundry and soiled wood on the stairway leading to bedrooms. Some creaking was noticed in flooring system in upstairs bedroom on West side. When the carpet is replaced, it is suggested that the floor be inspected for any possible damage. More than likely, it simply needs additional nails or screws in the sub-flooring.



4.3 Picture 1



4.3 Picture 2



4.3 Picture 3



4.3 Picture 4



4.3 Picture 5

**4.5** Kitchen countertop has a crack. Suggest cabinet company to inspect for possible repair or replacement. Cabinet doors on section to left of windowed cabinet in corner need adjusting.



4.5 Picture 1



4.5 Picture 2

**4.6**

4.6 Picture 1

**4.7** The window in the master bedroom needs attention. The trim, flashing and siding on the outside need to be inspected for serious deterioration. If just routine, then those components need to be caulked and painted to prevent rain water from penetrating. The putty holding the glazed window in place appears to not be preventing moisture penetration as well. We suggest a licensed handyman to add silicone caulking to glazed window - especially in bottom right corner as shown in picture. When a moisture meter was used to measure the affected area, it read 46% for moisture content of the sill/trim wood material. Evidence of staining on the wall and baseboard separation below the window was found. Also saw ants in same corner of window.



4.7 Picture 1



4.7 Picture 2



4.7 Picture 3

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

### Styles & Materials

**Foundation:**

Poured concrete

**Floor Structure:**

Wood joists  
Slab  
Wood beams  
Not visible

**Roof Structure:**

Not visible

**Method used to observe attic:**

Inaccessible

**Method used to observe**
**Crawlspace:**

No crawlspace

**Wall Structure:**

2 X 6 Wood

**Roof-Type:**

Gable

**Columns or Piers:**

Porch Columns

**Ceiling Structure:**

Not visible

**Attic info:**

No Access

**IN NI NP RR**

		IN	NI	NP	RR
<b>5.0</b>	<b>NARRATIVE</b>	X			
<b>5.1</b>	<b>FOUNDATIONS, BASEMENTS AND CRAWLSPACES</b>		X		
<b>5.2</b>	<b>COLUMNS OR PIERS</b>	X			
<b>5.3</b>	<b>FLOORS (Structural)</b>		X		
<b>5.4</b>	<b>WALLS (Structural)</b>	X			
<b>5.5</b>	<b>CEILINGS (structural)</b>	X			
<b>5.6</b>	<b>ROOF STRUCTURE AND ATTIC</b>		X		

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**5.0** There was not any access to the attic for purpose of viewing roof structure.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

### Styles & Materials

**Water Source:**

Well

**Water Filters:**

Whole house conditioner

**Plumbing Water Supply (into home):**

Copper

**Exterior Plumbing Spigots:**

2

**Plumbing Water Distribution (inside home):**

Copper

**Plumbing Waste:**

PVC

**Washer Drain Size:**

2" Diameter

**Water Heater Location:**

Garage

**Water Heater Power Source:**

Electric

**Water Heater Capacity:**

60 Gallon

**Water Heater Manufacturer:**

A.O. SMITH

**Model # / Serial #:**

EES-52917 / MJ02-1922453-917

IN NI NP RR

		IN	NI	NP	RR
<b>6.0</b>	<b>NARRATIVE</b>	X			
<b>6.1</b>	<b>PLUMBING DRAIN, WASTE AND VENT SYSTEMS</b>	X			
<b>6.2</b>	<b>PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES</b>	X			
<b>6.3</b>	<b>HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS</b>	X			
<b>6.4</b>	<b>MAIN WATER SHUT-OFF DEVICE (Describe location)</b>	X			
<b>6.5</b>	<b>FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)</b>			X	
<b>6.6</b>	<b>MAIN FUEL SHUT OFF (Describe Location)</b>	X			
<b>6.7</b>	<b>SUMP PUMP</b>		X		
<b>6.8</b>	<b>CHINESE DRYWALL - if requested.</b>		X		

IN NI NP RR

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**6.0** Plumbing system of the dwelling consists of a well for supply and a septic for draining. The septic field is located in the front yard running along the side of the driveway. There is a lift

system in place. A rather large ant pile was noticed on the pipes leading from the well. We recommend having a well contractor inspect the control box for the well system. The outside of the box is corroded and has a hole in the back for hanging on a wall. The implication is that water and insects may penetrate the box and create problems. Kitchen faucet handle is missing, suggest new fixture.



6.0 Picture 1



6.0 Picture 2

6.1



6.1 Picture 1



6.1 Picture 2

6.2



6.2 Picture 1



6.2 Picture 2

**6.3**

6.3 Picture 1

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 7. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

### Styles & Materials

<b>Electric Service Type:</b> Below ground 220 volts Single Phase	<b>Service Conductor Material:</b> Aluminum	<b>Main Service Panel Location:</b> In Garage
<b>Service Panel capacity:</b> 200 AMP	<b>Service Panel Type:</b> Circuit breakers	<b>Service Panel Manufacturer:</b> SQUARE D
<b>Sub-Panel Location:</b> In Garage	<b>Branch Circuit Conductor Material:</b> Copper	<b>Wiring Methods:</b> Romex
<b># of 15 Amp Circuits:</b> 13	<b># of 20 Amp Circuits:</b> 18	<b># of 30 Amp Circuits:</b> 4
<b># of 40 Amp Circuits:</b> 4	<b># of 50 (or larger) Amp Circuits:</b> 2	

IN NI NP RR

<b>7.0</b>	<b>NARRATIVE</b>	X			
<b>7.1</b>	<b>SERVICE ENTRANCE CONDUCTORS</b>	X			
<b>7.2</b>	<b>SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS</b>	X			
<b>7.3</b>	<b>BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE</b>	X			
<b>7.4</b>	<b>CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)</b>	X			
<b>7.5</b>	<b>POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF</b>	X			

IN NI NP RR

IN NI NP RR

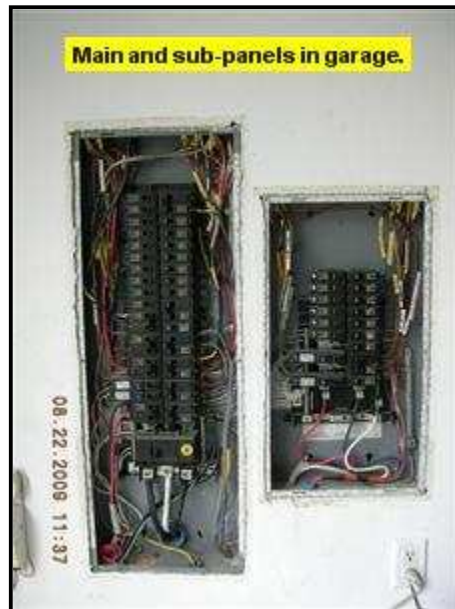
	<b>INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE</b>			
<b>7.6</b>	<b>OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERUPTERS)</b>	X		
<b>7.7</b>	<b>OPERATION OF AFCI (ARC FAULT CIRCUIT INTERUPTERS)</b>			X
<b>7.8</b>	<b>SMOKE DETECTORS</b>	X		
<b>7.9</b>	<b>CARBON MONOXIDE DETECTORS</b>			X
<b>7.10</b>	<b>CHINESE DRYWALL - if requested.</b>		X	

IN NI NP RR

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**7.0** There are 4 GFCI circuits in the dwelling. One of them on the East garage wall needs repair - the Hot and Ground wires are reversed and the GFCI component will not function as intended. There are 3 outlets on that circuit. We suggest a licensed electrician to repair this. GFCI circuit for upstairs and downstairs guest bathrooms are linked. Reset button is in upstairs bathroom. Floor outlet in living room not hooked up. Some of the smoke detectors are missing. Several light bulbs were not functioning in various rooms throughout the house.

**7.2**



7.2 Picture 1

**7.4**



7.4 Picture 1



7.4 Picture 2



7.4 Picture 3



7.4 Picture 4

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

### Styles & Materials

<b>Cooling Equipment Mfr:</b> NONE	<b>Serial # / Model #:</b>	<b>Cooling Equipment Type:</b> Heat Pump Forced Air (also provides warm air)
<b>Cooling Equipment Energy Source:</b> Electricity	<b>Number of AC Only Units:</b> None	<b># of Window or Wall Units:</b> None
<b>Heat Equipment Mfr.:</b> UNKNOWN NONE	<b>Serial # / Model #:</b>	<b>Heat Equipment Type:</b> Heat Pump Forced Air (also provides cool air)
<b>Heat Equipment Energy Source:</b> Electric	<b>Number of Heat Systems (excluding wood):</b> Two	<b>Ductwork:</b> Insulated
<b>Filter Type:</b> Disposable	<b>Filter Size:</b> (Four filters) 12x24	<b>Fireplace Type:</b> Conventional
<b>Operable Fireplaces:</b> One	<b>Number of Woodstoves:</b> None	

IN NI NP RR

		IN	NI	NP	RR
<b>8.0</b>	<b>NARRATIVE</b>	X			
<b>8.1</b>	<b>COOLING AND AIR HANDLER EQUIPMENT</b>		X	X	
<b>8.2</b>	<b>PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM</b>	X			
<b>8.3</b>	<b>COOLING SYSTEM - NORMAL OPERATING CONTROLS</b>		X	X	
<b>8.4</b>	<b>HEATING EQUIPMENT</b>		X	X	
<b>8.5</b>	<b>PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM</b>	X			
<b>8.6</b>	<b>HEATING SYSTEM - NORMAL OPERATING CONTROLS</b>		X	X	
<b>8.7</b>	<b>AUTOMATIC SAFETY CONTROLS</b>		X	X	
<b>8.8</b>	<b>DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)</b>		X		
<b>8.9</b>	<b>SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)</b>	X			

IN NI NP RR

		IN	NI	NP	RR
<b>8.10</b>	<b>GAS/LP FIRELOGS AND FIREPLACES</b>			X	
<b>8.11</b>	<b>CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)</b>	X			
<b>8.12</b>	<b>CHINESE DRYWALL - if requested.</b>		X		

IN NI NP RR

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**8.0** The HVAC systems were not present; therefore, no inspection was performed. Buyer to have new air handlers and compressors installed.

**8.12**



8.12 Picture 1



8.12 Picture 2



8.12 Picture 3

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or

dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

### Styles & Materials

**Attic Insulation:**

Unknown

**R Value:**

Extra Info : Unknown

**Ventilation:**

Ridge vents

**Exhaust Fans:**

None

**Clothes Dryer Power**
**Source:**

220 Electric

**Clothes Dryer Vent**
**Type:**

Flexible Metal

**Floor System**
**Insulation:**

NONE

IN NI NP RR

		IN	NI	NP	RR
<b>9.0</b>	<b>NARRATIVE</b>		X		
<b>9.1</b>	<b>INSULATION IN ATTIC</b>		X		
<b>9.2</b>	<b>INSULATION UNDER FLOOR SYSTEM</b>		X		
<b>9.3</b>	<b>VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)</b>		X		
<b>9.4</b>	<b>VENTILATION OF ATTIC AND FOUNDATION AREAS</b>		X		
<b>9.5</b>	<b>VENTING SYSTEMS (Kitchens, baths and laundry)</b>		X		
<b>9.6</b>	<b>VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)</b>		X		

IN NI NP RR

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**9.0** No access to attic

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 10. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

### Styles & Materials

**Dishwasher Mfr.:**

BOSCH

**Range / Oven Mfr.:**

NONE

**Range Hood / Exhaust Mfr.:**

NONE

**Vented ?:**

No

**Built in Microwave Mfr.:**

NONE

**Food Waste Disposer Mfr.:**

IN SINK ERATOR

**Trash Compactor Mfr.:**

NONE

IN NI NP RR

		IN	NI	NP	RR
<b>10.0</b>	<b>NARRATIVE</b>	X			
<b>10.1</b>	<b>DISHWASHER</b>	X			
<b>10.2</b>	<b>RANGES / OVENS / COOKTOPS</b>			X	
<b>10.3</b>	<b>RANGE HOOD</b>			X	
<b>10.4</b>	<b>MICROWAVE COOKING EQUIPMENT</b>			X	
<b>10.5</b>	<b>FOOD WASTE DISPOSER</b>	X			
<b>10.6</b>	<b>TRASH COMPACTOR</b>			X	
<b>10.7</b>	<b>CHINESE DRYWALL - if requested.</b>		X		

IN NI NP RR

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**10.0** All appliances were missing except dishwasher and disposer.



10.0 Picture 2



10.0 Picture 1

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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## General Summary

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### Best Home Inspection & Construction Co. LLC.

**23086 Madelyn Ave.  
Port Charlotte, Fl. 33954  
941 - 391 - 5372**

#### **Customer**

Mr. John Doe

#### **Address**

123 Main Street  
Tampa FL 12345

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

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## 1. Roofing

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### 1.6 CHIMNEYS

#### **Inspected, Repair or Replace**

Chimney flashing needs repair. Leak from this area has caused damage to patio ceiling below.

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## 2. Exterior

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### 2.1 WALL CLADDING FLASHING AND TRIM

#### **Inspected, Repair or Replace**

### 2.2 DOORS (Exterior)

#### **Inspected, Not Present, Repair or Replace**

Trim and casing of front door have been damaged. We suggest repair or replacement by licensed handyman. Door into garage from patio is extremely stained and has a crack on top left of window. Suggest replacement of door. The track systems for the sliding glass doors need to be cleaned. Dirt and debris need to be removed and lubrication is recommended as well.

### 2.3 WINDOWS

#### **Inspected, Not Inspected, Repair or Replace**

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## 2. Exterior

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We suggest licensed handyman to inspect flashing and caulking around fixed window on North wall of master bedroom and repair as necessary. Caulking around glazed window should also be repaired. There is evidence of water and insect penetration into the dwelling. See comments listed in Section 4 for more details.

### 2.4 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

#### Inspected, Repair or Replace

Ceilings for covered porch areas on front and back are both in need of repair. We suggest a licensed handyman or drywall contractor to fill seam cracks and paint. Areas on front porch are mostly concentrated at seams suggesting damage is from moisture in the air and possibly faulty workmanship. Damaged area on back porch was caused by leak from flashing at chimney above. The screen enclosure on the back patio is in need of repair. There are rips and holes in the main screen areas and the door. The door latching components need to be replaced as they are worn and not functioning to their full potential. The wood deck in back is in need of repair. There are several areas where the boards are warped, loose or deteriorated. Suggest licensed handyman to remove and replace damaged boards. It is also suggested that during the repair of the deck that the downspout currently draining onto the deck be run through the deck onto the ground. We suggest directing the flow away from the concrete porch. The roof drainage system needs to be sealed at the seams to prevent dripping onto the deck. The deck system needs to be treated with a deck sealer to prevent further damage. The ends of the deck should also be sealed off to prevent animal intrusion.

### 2.5 GRADING & DRAINAGE

#### Inspected, Repair or Replace

### 2.8 EAVES, SOFFITS AND FASCIAS

#### Inspected, Repair or Replace

Some areas on soffit are stained from moisture. Some of those areas may need addition of drainage system to control rain runoff. The area where garage roof meets main roof near walkway leading to porch may need to be addressed. The roof covering underneath the soffit of the garage roof was considerably moist. This may be caused by blowing rain from a storm the previous night. However, it may be the result of not having a roof drainage system on the garage roof to control runoff of rain water. A small piece of flashing has been used to attempt diversion of rain water coming from garage roof onto lower roof. A more substantial kickout may be necessary. The concern is excessive wear to roof covering from prolonged exposure to moisture. Lack of sun and wind do not dry this area as well as others areas. Summary: monitor for a chronic condition and consult with roofer if condition persists.

### 2.9 OTHER

#### Inspected, Repair or Replace

The plates holding the coach lights on the garage door wall are all deteriorating and are cracked. This is due to the use of inferior material. These plates should be removed and replaced with material suitable to for exterior use and protected from the elements.

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## 3. Garage

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### 3.1 GARAGE CEILINGS

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### 3. Garage

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**Inspected, Repair or Replace**

#### 3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

**Inspected, Repair or Replace**

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### 4. Interiors

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#### 4.0 NARRATIVE

**Inspected, Repair or Replace**

Throughout the dwelling, there is evidence of cosmetic damage to the walls and flooring coverings. We suggest a licensed handyman or drywall contractor to repair or replace as necessary. Tested a sampling of windows and some were difficult to move. Suggest lubrication and adjustment as necessary. The blades on two ceiling fans have been removed. A door in the upstairs bedroom on the East side has been taken off its hinges and needs to be hung again. Although there are some minor repairs to make, there are some very nice features throughout the home as well. Crown molding and decorative features adorn the walls and ceilings in places.

#### 4.1 CEILINGS

**Inspected, Not Inspected, Repair or Replace**

#### 4.2 WALLS

**Inspected, Repair or Replace**

There are several walls which are in need of repair.

#### 4.3 FLOORS

**Inspected, Repair or Replace**

We recommend that the carpet be replaced throughout the house. Stains and excessive wear were seen everywhere. The non-carpeted areas are acceptable with the exception of some damaged tiles in the laundry and soiled wood on the stairway leading to bedrooms. Some creaking was noticed in flooring system in upstairs bedroom on West side. When the carpet is replaced, it is suggested that the floor be inspected for any possible damage. More than likely, it simply needs additional nails or screws in the sub-flooring.

#### 4.5 COUNTERTOPS AND A REPRESENTATIVE NUMBER OF CABINETS

**Inspected, Repair or Replace**

Kitchen countertop has a crack. Suggest cabinet company to inspect for possible repair or replacement. Cabinet doors on section to left of windowed cabinet in corner need adjusting.

#### 4.7 WINDOWS (REPRESENTATIVE NUMBER)

**Inspected, Repair or Replace**

The window in the master bedroom needs attention. The trim, flashing and siding on the outside need to be inspected for serious deterioration. If just routine, then those components need to be caulked and painted to prevent rain water from penetrating. The putty holding the glazed window in place appears to not be preventing moisture penetration as well. We suggest a licensed handyman to add silicone caulking to glazed

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## 4. Interiors

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window - especially in bottom right corner as shown in picture. When a moisture meter was used to measure the affected area, it read 46% for moisture content of the sill/trim wood material. Evidence of staining on the wall and baseboard separation below the window was found. Also saw ants in same corner of window.

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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